



P18559,11
238.9186 ha

DP25415 9
16.0845 ha

P13547,6
45.4031 ha

DP247615,1490
52.8494 ha

DP250798,1694
52.1202 ha

P13547,7
44.9546 ha

DP415645,25
227.4719 ha

D92318,20
5.8962 ha

D92318,21
3.6211 ha

DP127364,2948
9.8659 ha

P22509,24
7.3092 ha

P22509,30
4.0734 ha

P22509,29
5.0090 ha

P24143,100
14.4085 ha

P22509,25
10.0679 ha

P22509,28
3.8883 ha

P24143,103
8.7003 ha

P22509,27
5.9228 ha

P22509,26
5.3950 ha

DP127365,2949
4.6842 ha

DP231530,660
17.0621 ha

DP415645,22
12.4100 ha

V CROWN LAND
7.1038 ha

P24143,101
34.5823 ha

DP25477,72
33.2668 ha

DP25477,73
40.4149 ha

P24143,102
39.4375 ha

DP25477,80
114.2166 ha

0 0.1 0.2km



13143

D92318 21
3.6211 ha

396.23

105.95

White

P ROAD Peak
10.2561 ha

Rd

20.6

20.42

P22509 30
4.0734 ha

152.87

P22509 29
5.0090 ha

P ROAD
1.9218

Harmony
PI

303.74

152.15

19.61

58.77

70.97

62

282.39

210.59

80.48

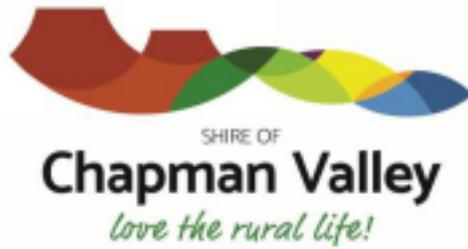
80.42

6

132.31

P22509 28
3.8883 ha





FORM OF APPLICATION FOR PLANNING APPROVAL

(PLEASE COMPLETE ALL BOXES)

OWNER DETAILS:

Name(s): Ersilia Tarantino

Postal Address: PO Box 3315, Bluff Point, Geraldton Postcode: 6532

Contact Person: Ersilia Tarantino or Stephen Jeeves

Phone:

Email: hello@inspiringbreaks.com

Signature: *E Tarantino*

Date: 3 March 2026

Signature:

Date: **NOTE: The signatures of ALL the owner(s) is required to process this application.**

APPLICANT DETAILS: (if different from owner)

Name: Ersilia Tarantino and Stephen Jeeves (62 White Peak Road)

Postal Address: PO Box 3315, Bluff Point, Geraldton

Postcode: 6532

Contact Person: Ersilia Tarantino and Stephen Jeeves

Phone:

Email: hello@inspiringbreaks.com

Signature: *Sm* *E Tarantino*

Date: 3 March 2026

PROPERTY DETAILS:

Lot/Location No: Lot 29

House/Street No: 14

Street Name: Harmony Place

Locality/Suburb: White Peak

Diagram/Plan No:

Volume No:

Folio No:

Page 1 of 2

EXISTING DEVELOPMENT/LAND USE:

Nature of any Existing Development/Land Use: Residential Land

PROPOSED DEVELOPMENT/LAND USE:

Description of Proposed Development/Land Use: Nature Based Rural Tourism.

Caravan Park & Camping ground with short stay tiny chalets/cabin on wheels

We propose to develop in our first stage on the property, 2 off grid self contained mobile tiny cabins to allow for short term visitor and tourist accommodation with the idea of offering visitors the experience off grid living in the tranquil surrounds of chapman valley. At the same time we propose to offer wellbeing/creative events on the grounds with the use of a 5m Lotus Belle Tent. (please see events application and images)

We have currently positioned 1 mobile Tiny Cabin (see image attached) within the current building envelope. The dimensions are 5m x 2.5m with access to a 3000L water supply that is fed from a 10,000 L water tank on the property.

Guests also have access to a porta loo, located on the envelope which will also be used for events and waste disposed of at regular intervals by Total Toilets, Geraldton.

We propose to include a second mobile tiny cabin in one of the 4 locations as per the plan attached. Should these go well we would like to continue to offer a potential 2 more in our second stage of development. These would be to accommodate clients on weekend retreats or events. The mobile cabins proposed are all of similar dimensions.

There are 4 proposed sites, as per the bush fire management plan attached to offer privacy for visitors and privacy from neighbouring plots. These mobile cabins will be limited to the locations selected on the plan. The idea is for the cabins to blend into the natural surrounds and be non intrusive.

N.B As the cabins are mobile on wheels, they can be towed away or relocated at short notice.

We currently reside at the property adjacent (Lot 30, 62 White Peak Road) for management. At this stage we will be the only management with no employees. Please refer to our Short Stay management plan.

The current cabin offers 1 bed for singles or two people, and the other cabins will be similar. Therefore the number of cars for the accommodation will be from 2- 8 with ample parking on site as indicated in the site plan.

Approximate Cost: \$100,000 each

Estimated Time of Completion: First stage finished 2028, potential second stage 2029/30

APPLICANT DETAILS: (if different from owner)

Name(s):

Postal Address: Postcode: Contact Person:

Phone: Email:

Signature: Date:

PROPERTY DETAILS:

Lot/Location No: 29 & 30

House/Street No: 14 & 62

Street Name: Harmony Place and White Peak Road

Locality/Suburb: White Peak

Diagram/Plan No:

Volume No:

Folio No:

Event Details

Event: Various events including Art Workshops, Meditation or mindfulness, Music Evenings, womens circles.

Name: Inspiring Breaks.....

Date: Various, propose to do 6 per year

Event start time/date:

Event finish time/date:

Completion of Event clean up date:

Proposed venue details: (e.g. name of reserve, building or public open space)

14 Harmony Place, Lot 29 , White Peak Road, Geraldton 6532
62 White Peak Road, Lot 30 , Geraldton, 6532

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Event description: (e.g. sporting, commercial, entertainment and in addition please state whether the event is a one-off or proposed as an annual event)

Art retreat or workshop, Mindfulness and meditation, full moon yoga circle, music evenings such as didgeridoo meditation, private intimate acoustic guitar evenings. Most events or workshops will be no more then 15 to 20 people and mostly intimate groups of 10

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Entertainment: Brief details (number of stalls/products/entertainment-bands, amplified music/animals/activities/farm machinery/rides)

Stalls Not relevant for most events. For music evenings a food van may be requested for the evening. We propose 1 van or we will have outside catering.

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Primary purpose of event: (eg. fundraiser for community group)

For promoting wellbeing tourism and creativity for relaxation, to enjoy the natural environment plus self care and self development purposes

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Will alcohol be available/consumed on site? **No** Will food be available? (*tick*)

Yes on occasions

Details of any tents, marquees, stages etc. to be used for the event:

We will use various local catering companies to provide food, and currently looking to obtain a low risk kitchen licence for heating food etc. For other events we will use a food van, there will be no more then 1 van.

Various events will make use of our Lotus Belle Tent. This is a 16ft round shaped tent, holding a maximum of 16 people, which will be placed adjacent to tiny home and porta loo. We have 1 chemical porta loo, plus additional toilets in the tiny home and at 62 White Peak Road. Any additional porta loos needed will be hired from Total Toilets

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Details of any road closures or use of roads for the event: (Note: separate approvals required through police services)

.....N/A.....
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Will the event have implications for local residents, (eg. Noise, traffic management, parking, crowds etc.) and if so how is it proposed to manage these implications?

.....The events being of small scale means there is ample parking for up to a dozen cars on the property. We also own the adjacent property at 62 White Peak road, Lot 30, owned by Stephen Jeeves, where there is additional parking for up to 10 cars.

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Parking Arrangements: (where, how directed etc.)

Marked bays, entrance and exit, parking signs are being set up on the property. The details will be forwarded with any tickets and/or booking documents, as well as greeting and directing clients and guests on arrival.

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Details of rubbish removal and site cleaning:

.....Pre event a number of enclosed bins will be provided and placed on site. Post event, these will be cleared and emptied for roadside rubbish collection on Mondays. Should there be any additional rubbish that is not reasonable for the collection, this will be taken to the Chapman Valley tip

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Expected Attendance

Maximum number of people expected at any given time:up to 20.....

Anticipated total number for entire event:max 20

Target audience: (eg. youth, adult, family etc.)Adults, Women and couples between 25-54 and those interested in wellbeing and Creative breaks.....

Have you ever conducted this event before and if so, when/where was it held?

.....These events have been conducted by Ersilia Tarantino, a trained facilitator, Artist and Tour Guide, over the last 15 years both in Europe, e.g England, France and Holland

and in various local venues in Geraldton such as Nukara, St Georges Beach, various Marine Terrace businesses in Geraldton from 2017

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Have you determined whether a risk assessment is required? (*tick*) Yes, this has been covered in our Bush Fire Management Plan and also see attached Risk Assessment

Event Facilities

Power supply details:Power will be supplied by the Tiny Home solar power. Most events do not require additional lighting other than battery operated lamps or solar. For music events a small portable generator may be used if necessary.

Solar lights will be placed at the entrance and exits and any pathways during the event. If further lighting is required, we will look at flood lighting in use with a generator.

Water supply details:On site rain water tanks at 14 Harmony Place and 62 White Peak Road, totaling 120,000 litres,.

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Number of toilets available: Unisex toilets 4

Male: Closets:Hand Wash Basins:4.....Urinals:

Female: Closets:Hand Wash Basins: Disabled: 0

Closets:Hand Wash Basins:

TENT LOCATION, STAGE, ENTERTAINMENT AREA

TINY HOME

FIRE EQUIPMENT

CAR PARKING 2-4 CARS

OUTSIDE PORTA LOO TOILET

ADDITIONAL PARKING 4 CARS

ADDITIONAL PARKING 4 CARS

WATER TANK

ENTRANCE & EXIT MUSTER POINT

PROVA 19218

Harmony

PI

80.48



144.83

396.23

MUSTER POINT, 2ND ENTRANCE
& EXIT

White

Peak

P. ROAD
10.2540 ha

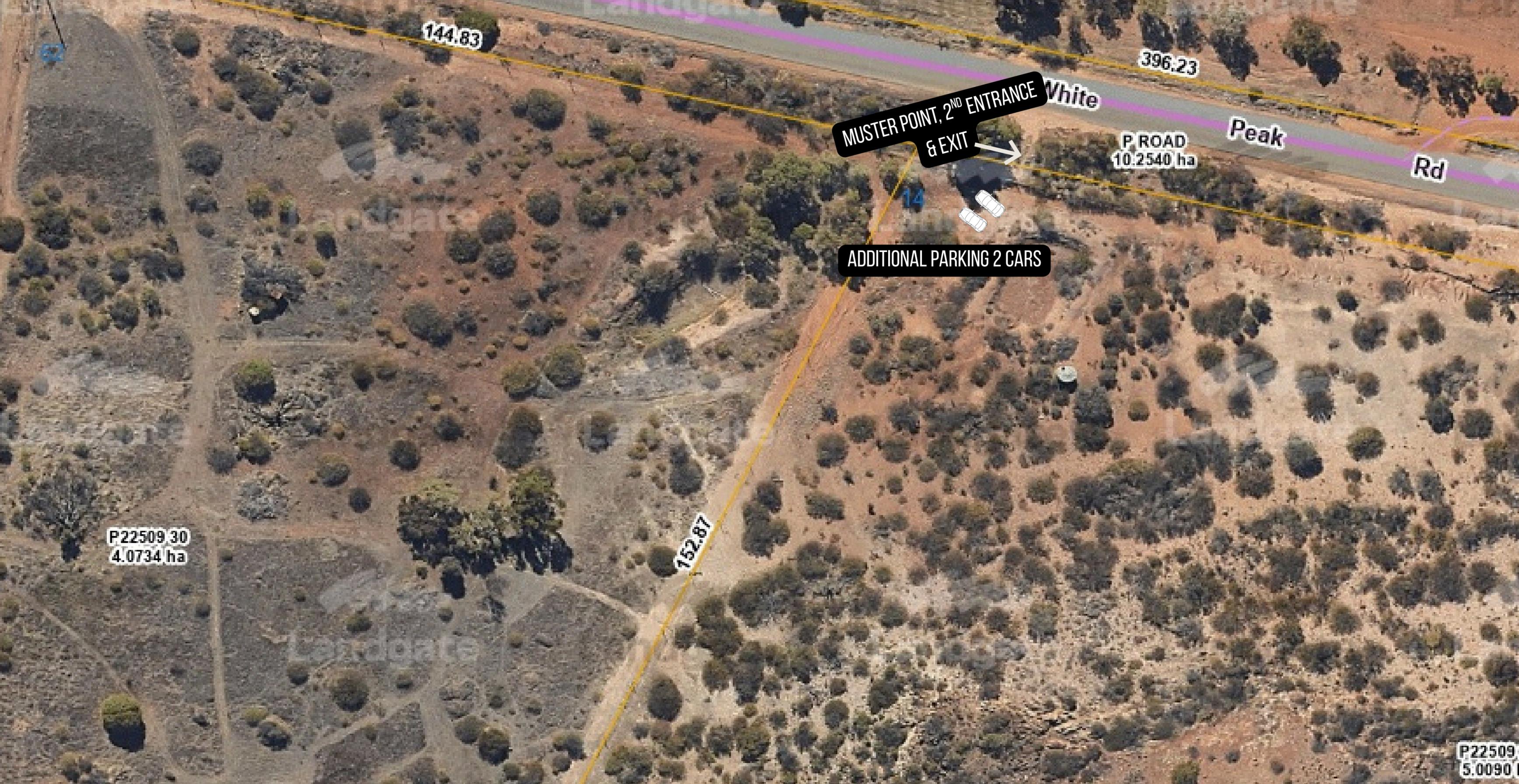
Rd

ADDITIONAL PARKING 2 CARS

152.87

P22509 30
4.0734 ha

P22509
5.0090



144.83

396.23

MUSTER POINT, 2ND ENTRANCE
& EXIT

White

Peak

P. ROAD
10.2540 ha

Rd

ADDITIONAL PARKING 2 CARS

152.87

P22509 30
4.0734 ha

2ND POSSIBLE TENT
LOCATION, ENTERTAINMENT
AREA



P22509
5.0090

P. ROAD
2186 m2

104.42

White Peak Road

119.13

MUSTER POINT, 3^D ENTRANCE &
EXIT

144.83

3RD POSSIBLE TENT LOCATION,
ENTERTAINMENT AREA

PARKING 2 CARS

186

Royce

P. ROAD
9484 m2

169.09

PARKING 5-7 CARS

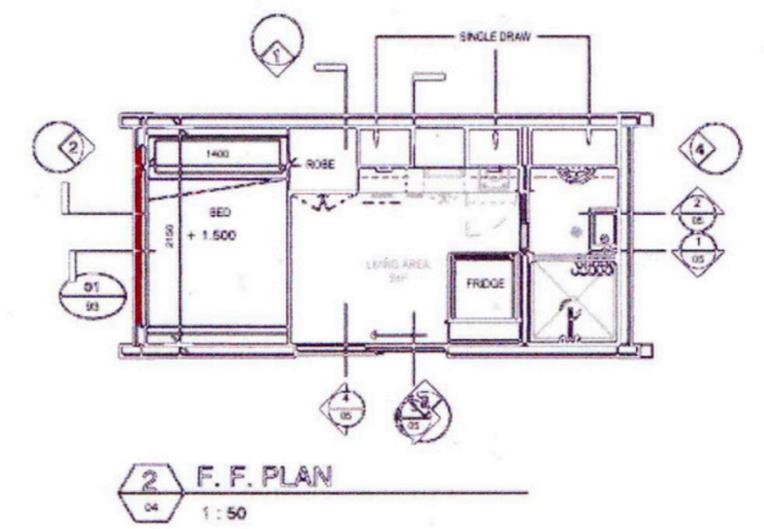
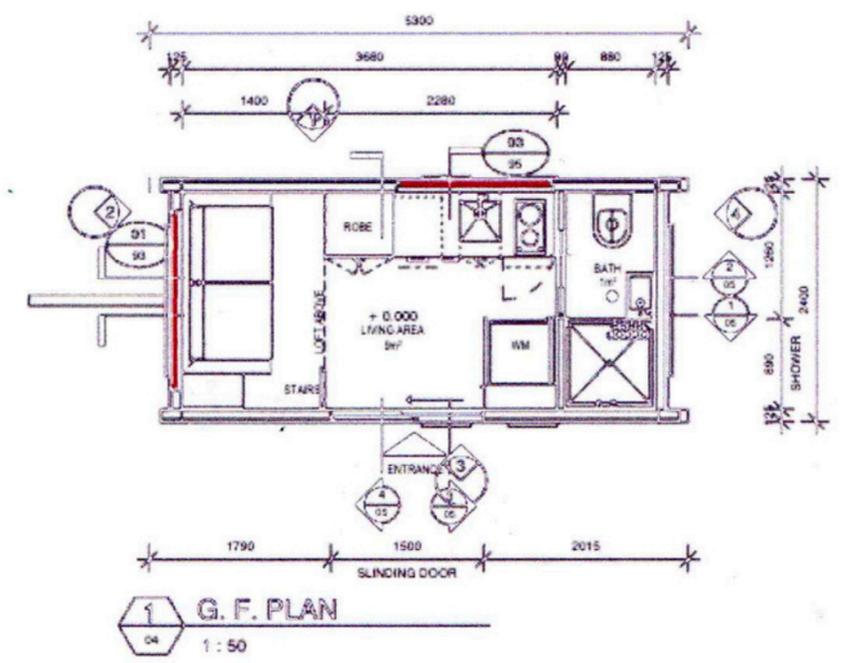
P22509 30
4.0734 ha

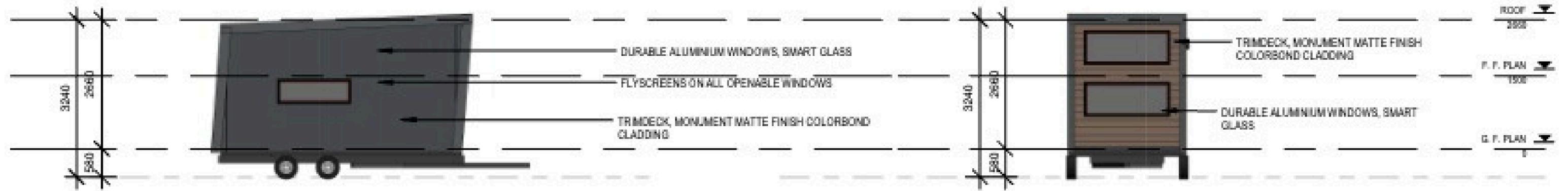
152.87





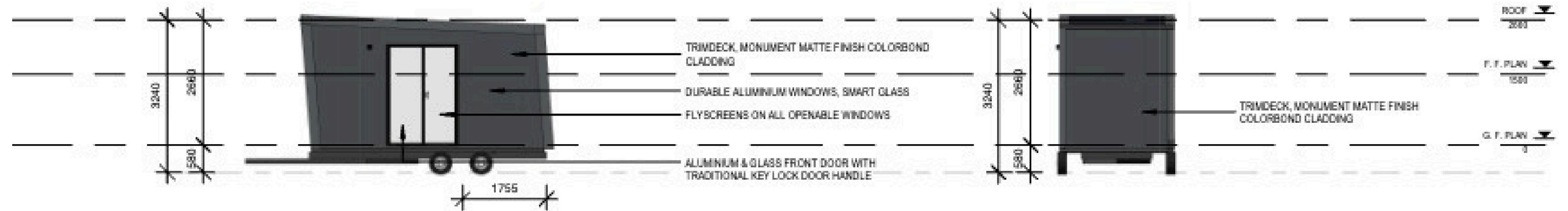
Application Approval Form
Appendix 1





1 ELEVATION 01
03 1 : 100

2 ELEVATION 02
03 1 : 100



3 ELEVATION 03
03 1 : 100

4 ELEVATION 04
03 1 : 100



Above & Below: Lotus Belle Tent



Below: Proposed Tent Area



INSPIRING BREAKS 14 HARMONY PLACE, EVENTS RISK MANAGEMENT ASSESSMENT

Description of Risk	Likelihood	Preventative Action	Contingency	Risk Owner
Injuries during Yoga Events	Low	Only use qualified instructors and waivers signed	Make people aware what is involved, e.g intermediate level etc.. Trained first aider on site and first aid kit	Client
Rocky Land on walking trails	Low	Rocks cleared from pathways to maximum possibility, pathways clearly marked and signed, provide torches for walking after dusk	Document providing details of rules for walking Waiver Signed	Client
Adequacy of all contractors, sub-contractors, service providers to carry out the duties contracted for with Public Liability and appropriate insurance cover	Low	Copy of Certificate of Currency to be provided on acceptance	Will only work with those that have adequate insurance	Inspiring Breaks and Contractor
Extreme Weather Events High winds causing potential tent collapse	Moderate	check forecasts, set up anchor points.	Postpone, Defer to another date	Inspiring Breaks
Food poisoning from vendors	Low	Require all vendors to submit food safety certificates 2 weeks prior.	Advise City for tracing	Vendor Manager
Snakes	High	Awareness of snakes and actions to take Stay on clearly marked trails. Emergency numbers provided	Good footwear to be worn. Events manager Stephen Jeeves is a trained snake handler with current first aid certificate	Client