



Our Ref: A1563
Enquiries: Simon Lancaster

15 February 2021

Dear Sir/Madam

PROPOSED OUTBUILDING EXTENSION – 37 (LOT 205) REDCLIFFE CONCOURSE

The Shire of Chapman Valley has received an application for the construction of a 120m² verandah onto 2 sides of the existing 160m² shed upon 37 (Lot 205) Redcliffe Concourse, White Peak (proposed total outbuilding area of 280m²). Please find enclosed with this correspondence a copy of the received application.

The Shire of Chapman Valley 'Outbuildings' Local Planning Policy (copy also attached) sets the maximum total area for outbuildings in the 'Rural Residential' zone as being 240m², but with allowance for consideration of an additional 120m² unenclosed area, subject to the advertising of the application for comment.

The Shire is therefore inviting comment upon this application.

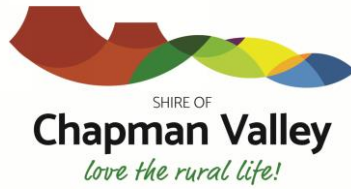
The Shire has separately approved a Class 1A (habitable) compartment within the outbuilding, and the application could therefore have been approved as a residence, for which there is not a maximum floor area restriction. However, the application is being assessed (and therefore advertised) under the Outbuilding policy requirements as it is the intention of the landowner to live temporarily within the shed and then construct a residence upon Lot 205, and the assessment of the application under the Outbuilding policy criteria would enable this future development.

Please find attached with this correspondence a submission form should you wish to make comment (support/objection/indifferent) in relation to this application. Comments must be received by the Shire **prior to 4:00pm Monday 8 March 2021**.

Trusting that this correspondence and the attachments provide sufficient background to this matter, however, should you have any queries please contact this office on 9920 5011.

Yours faithfully,

Simon Lancaster
DEPUTY CHIEF EXECUTIVE OFFICER



DEVELOPMENT APPLICATION SUBMISSION FORM

Shire Reference: A1563

PROPOSED OUTBUILDING EXTENSION (VERANDAH) 37 (LOT 205) REDCLIFFE CONCOURSE, WHITE PEAK

Name: _____

Postal Address: _____

Phone Number: _____

SUBMISSION: Support Object Indifferent

Give in full your comments and any arguments supporting your comments (if insufficient space, please attach additional sheets) -

Signature: _____ Date: _____

Please return to: Chief Executive Officer or cso@chapmanvalley.wa.gov.au
Shire of Chapman Valley
PO Box 1 or (fax) 9920 5155
NABAWA WA 6532

NOTE: *The local government in determining the application will take into account the submissions received but is not obliged to support those views.*

Submissions Close: 4:00pm Monday 8 March 2021



Bill Hemsley Park

Lot
205

Redcliffe Concourse

Redcliffe Concourse

Merino Fairway

Redcliffe Concourse

Redcliffe Concourse

Merino Fairway

Merino Fairway

Wittenoorn Cir

Wittenoorn Cir

Wittenoorn Cir

53

43

39

173

171

174

12

9

15

10



Redcliffe
Way

Merino
Fwy

35

21.07

10

14.07

5.78

33.01

5.41

76.49

35.5

37.24

10.07

18.8

90.45

4.2

4

4.21

10.01

27.51

32.76

15.92

2.14

91.28

31.5

32.52

33.5

Map of Bush Fire Prone Areas

powered by SLIP

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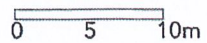
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App State

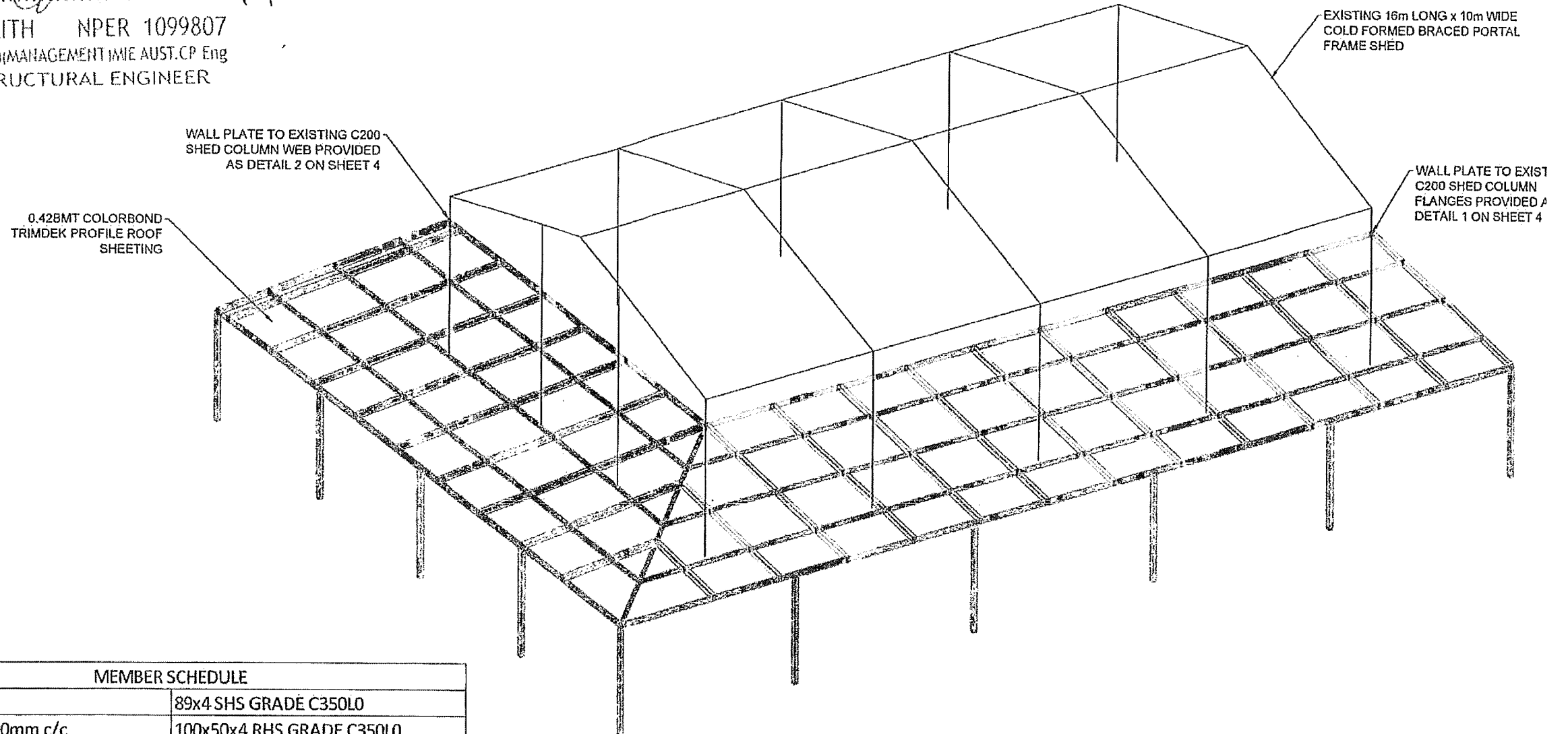
Click to restore the map extent and layers visibility where you left off.

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.....Date... 4/2/2021..

LESTER SMITH NPER 1099807
 BE(HONS)BCom(MANAGEMENT)MIE AUST.CP Eng
 CIVIL / STRUCTURAL ENGINEER



MEMBER SCHEDULE	
COLUMNS	89x4 SHS GRADE C350L0
RAFTERS @ 1600mm c/c	100x50x4 RHS GRADE C350L0
VERANDAH BEAM	100x50x4 RHS GRADE C350L0
WALL PLATE	100x50x4 RHS GRADE C350L0
HIP RAFTER	100x50x5 RHS GRADE C350L0
PURLINS @1600mm MAX INTERNAL	76x38x3 RHS GRADE C350L0
PURLINS @ 1200mm MAX END	76x38x3 RHS GRADE C350L0

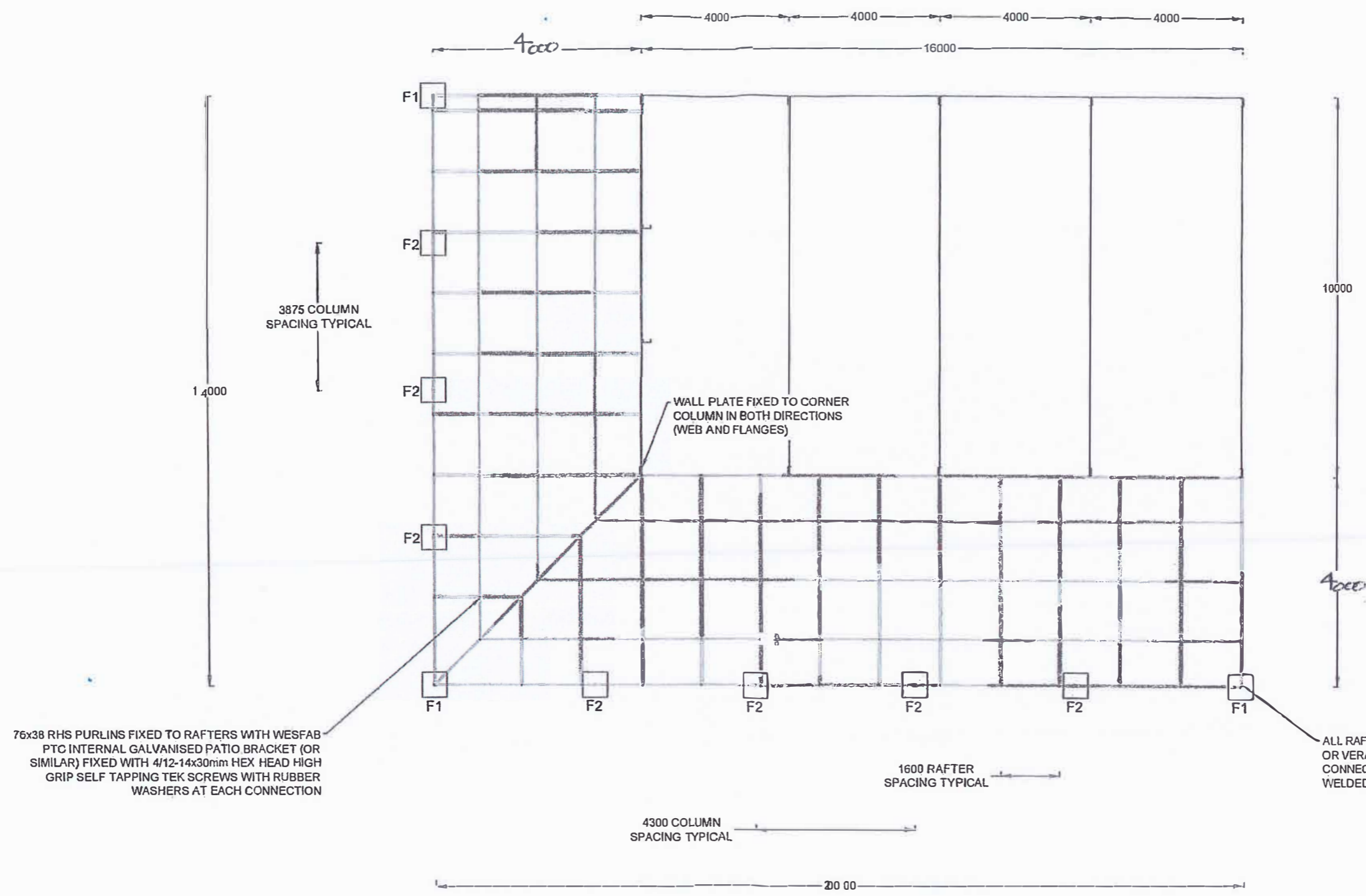
 BLACKTOP CONSULTING ENGINEERS ABN: 84 683 812 614 PO Box 918 Geraldton WA 6531 PHONE : (08) 9964 5459	CLIENT SHEDS N MORE	DRAWN SO	CHECKED LS	DATE 20/01/2021	AMENDMENT DETAILS ISSUED FOR CLIENT APPROVAL	PROJECT 37 REDCLIFFE CONCOURSE SHED PATIO ROOF
	CLIENT ADDRESS GERALDTON	AMENDMENT A B	SO	LS	4/02/2021	FOOTING AND WALL PLATE CHANGES
SHEET 1 OF 6	<small>THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF BLACKTOP CONSULTING ENGINEERS. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSIONED WORK. UNAUTHORIZED USE OF THIS DOCUMENT IN ANY MANNER IS PROHIBITED.</small>	DWG No 21BCE2369-01	SCALE NTS	SIZE A3	REV	

FOOTINGS

- F1 650x650x650mm
- F2 950x950x950mm

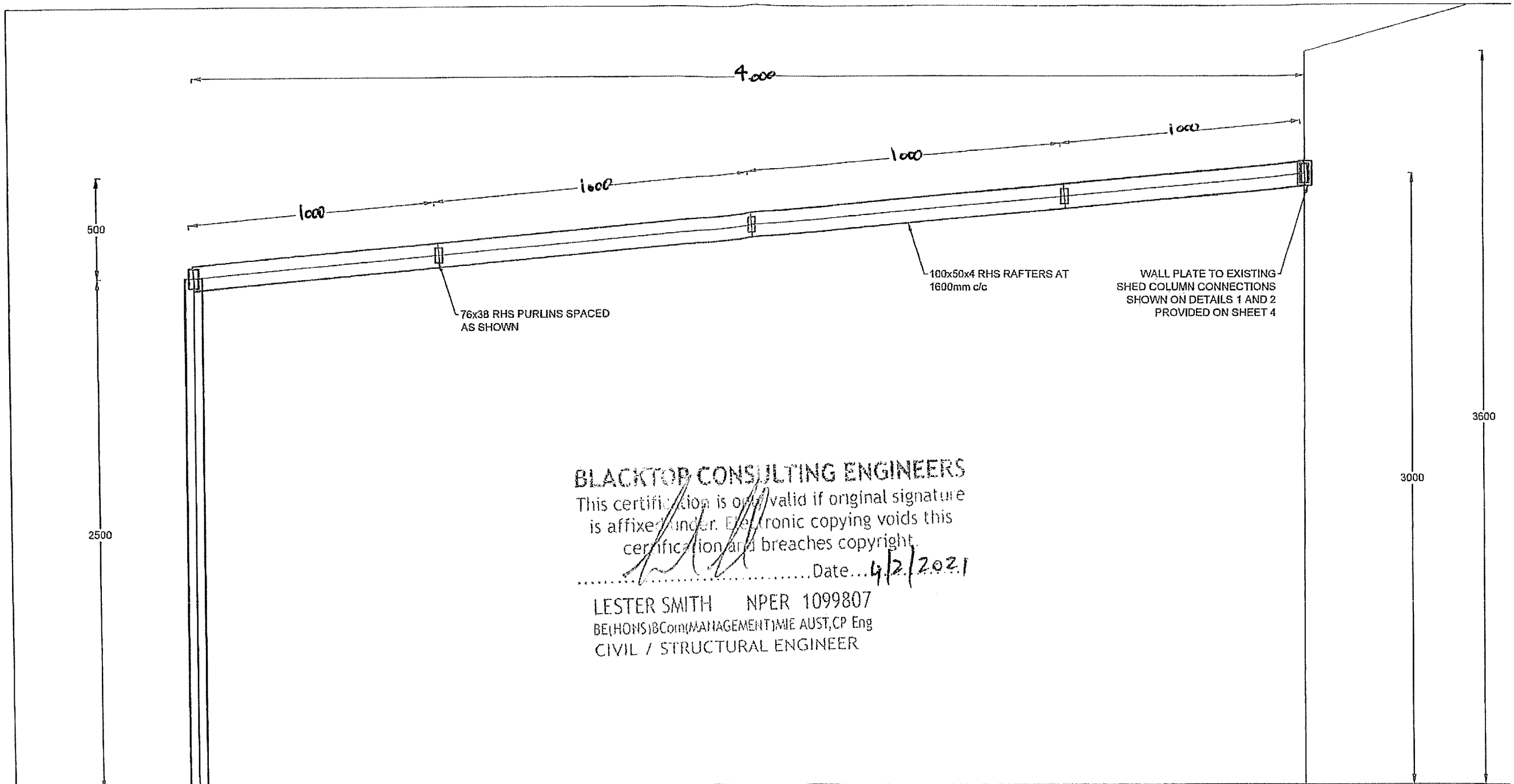
REFER SHEET 4 FOR FOOTING DETAILS

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 LESTER SMITH NPER 1099807
 BEHONSBCOMMANAGEMENT/ME AUST, CP Eng
 CIVIL / STRUCTURAL ENGINEER



ALL RAFTER TO WALL PLATE OR VERANDAH BEAM CONNECTIONS FULLY WELDED

BLACKTOP CONSULTING ENGINEERS ABN: 84 683 812 614 PO Box 918 Geraldton WA 6531 PHONE : (08) 9964 5459	CLIENT SHEDS N MORE		DRAWN SO	CHECKED LS	DATE 20/01/2021	AMENDMENT DETAILS ISSUED FOR CLIENT APPROVAL	PROJECT 37 REDCLIFFE CONCOURSE SHED PATIO ROOF		
	CLIENT ADDRESS GERALDTON	AMENDMENT A B	SO LS	LS LS	20/01/2021 4/02/2021	ISSUED FOR CLIENT APPROVAL FOOTING AND WALL PLATE CHANGES	DRAWING ROOF PLAN		
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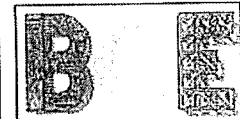
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[Signature]
Date... 4/2/2021

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BE(HONS)BCom(MANAGEMENT)MIE AUST,CP Eng
CIVIL / STRUCTURAL ENGINEER

FOOTING DETAIL PROVIDED ON SHEET 4



BLACKTOP CONSULTING ENGINEERS

ABN: 84 683 812 614
PO Box 918
Geraldton WA 6531
PHONE : (08) 9964 5459

CLIENT

SHEDS N MORE

CLIENT ADDRESS

GERALDTON

	DRAWN	CHECKED	DATE	AMENDMENT DETAILS
AMENDMENT	A	SO	20/01/2021	ISSUED FOR CLIENT APPROVAL
	B	SO	1/02/2021	FOOTING AND WALL PLATE CHANGES

PROJECT

37 REDCLIFFE CONCOURSE
SHED PATIO ROOF

DRAWING

SIDE ELEVATION

DWG No

20BCE2369-03

SCALE

NTS

SIZE

A3

REV

SHEET

3 OF 6

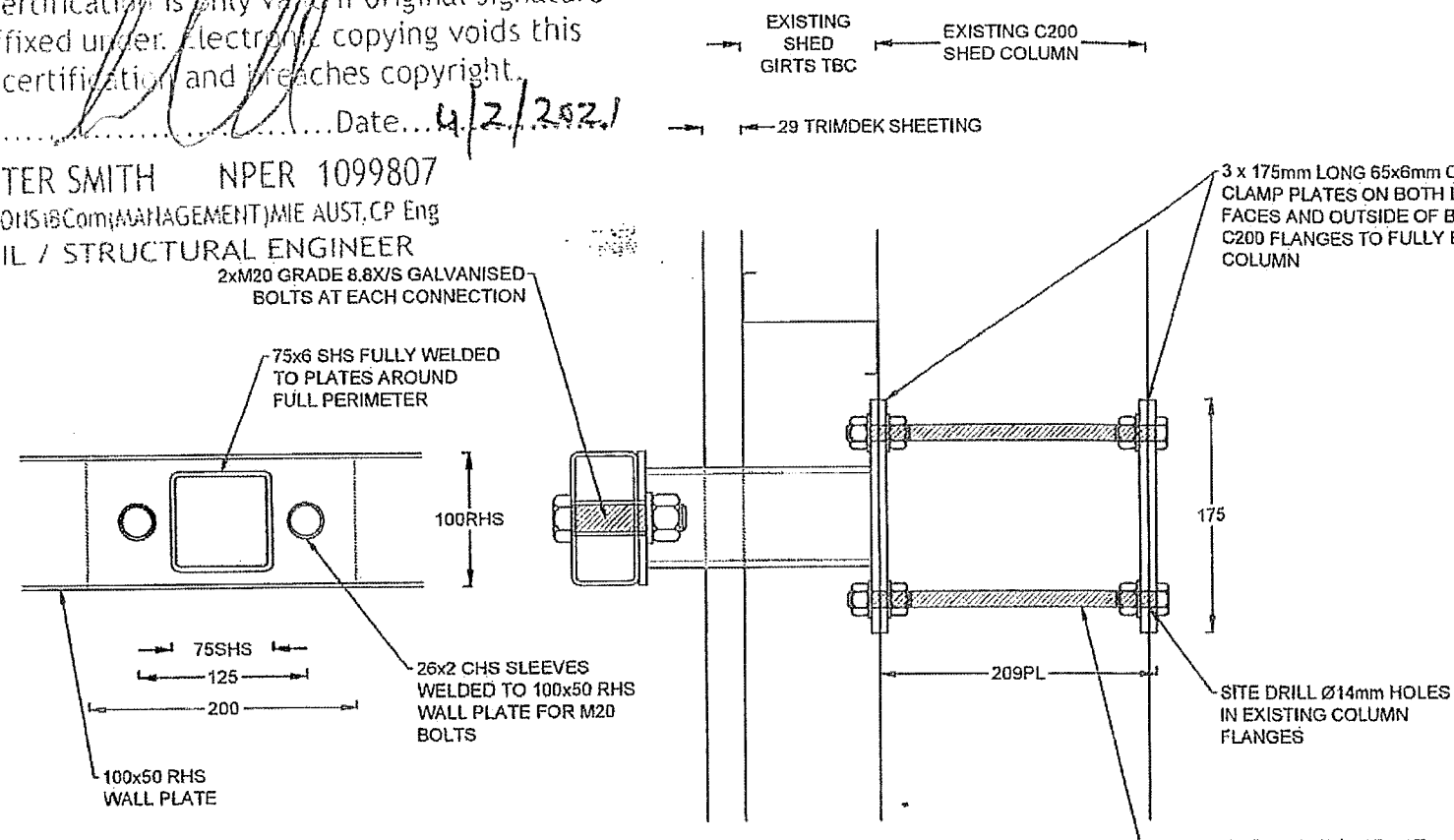
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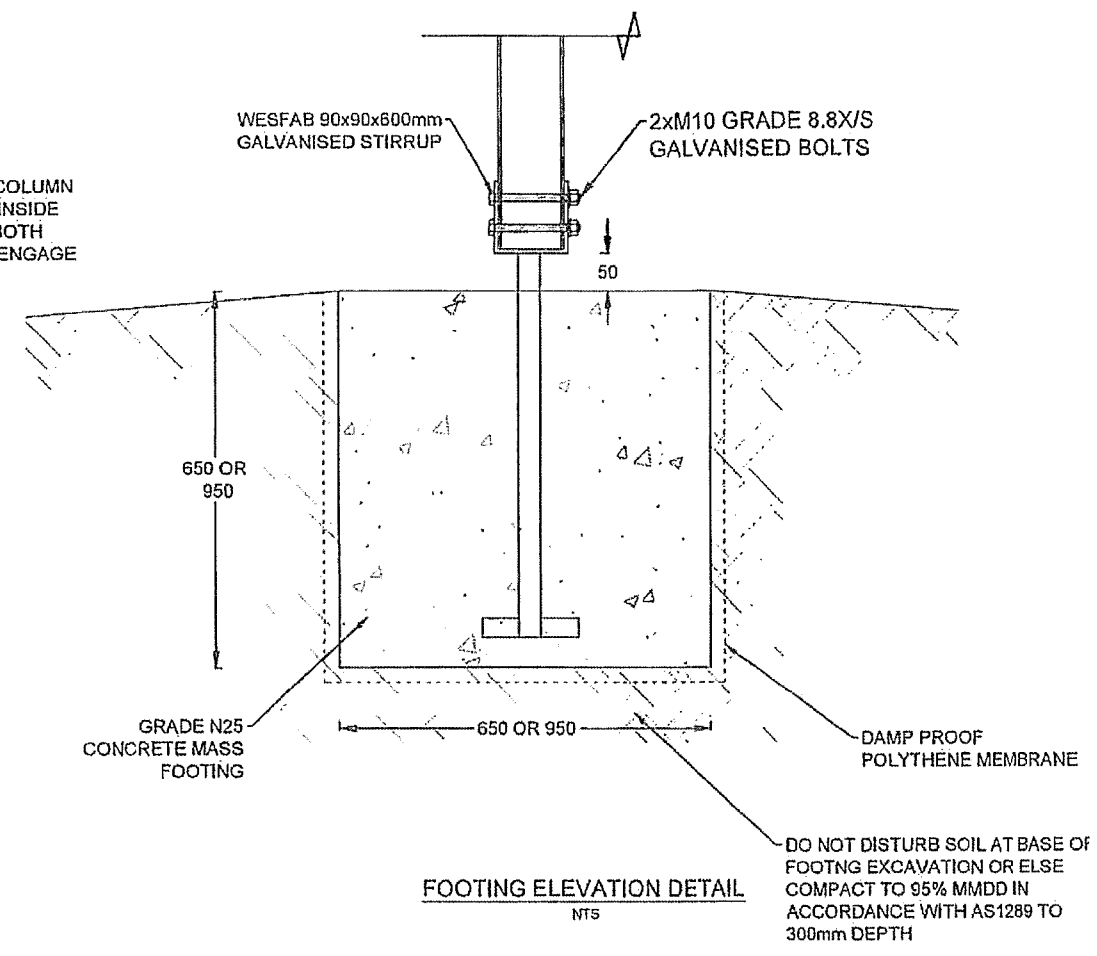
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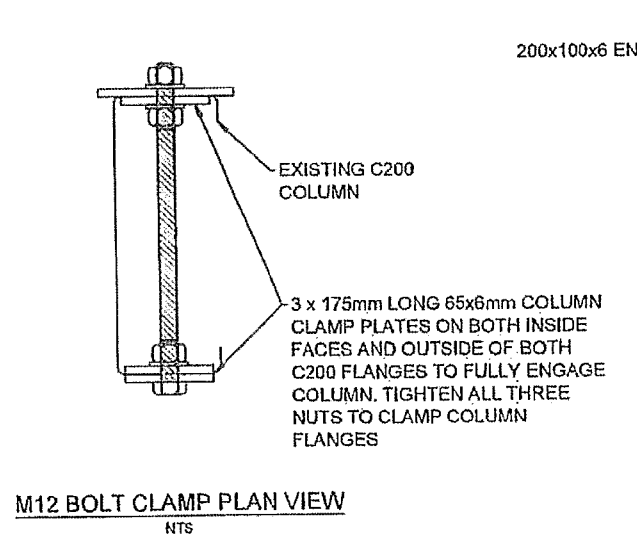
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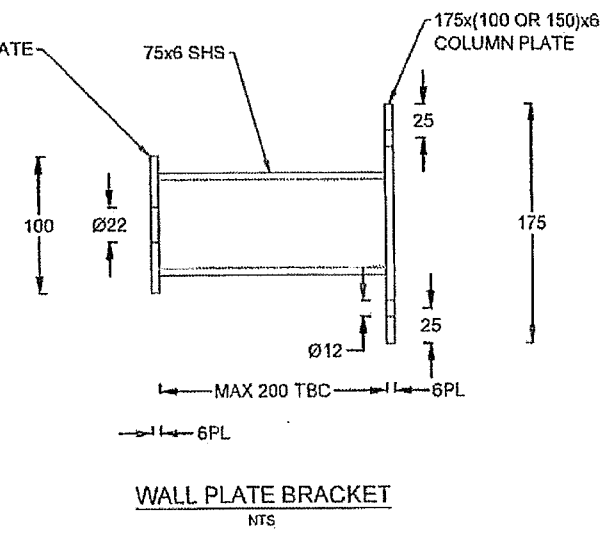
DETAIL 1 - OPTION 1: WALL PLATE TO COLUMN FLANGE ELEVATION DETAIL
 (BCE PREFERRED OPTION)
 NTS



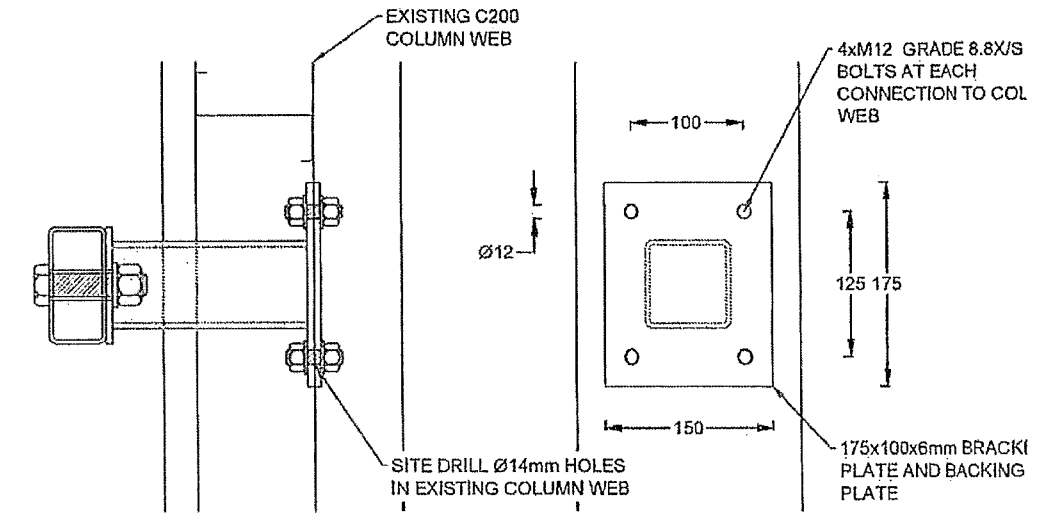
FOOTING ELEVATION DETAIL
 NTS



M12 BOLT CLAMP PLAN VIEW
 NTS



WALL PLATE BRACKET
 NTS



DETAIL 2 - WALL PLATE TO COLUMN WEB ELEVATION DETAIL

<p>BLACKTOP CONSULTING ENGINEERS ABN: 84 683 812 614 PO Box 918 Geraldton WA 6531 PHONE : (08) 9964 5459</p>	CLIENT	SHEDS N MORE	DRAWN A SO LS 20/01/2021 B SO LS 4/02/2021 AMENDMENT	DRAWN	CHECKED	DATE	AMENDMENT DETAILS	PROJECT	37 REDCLIFFE CONCOURSE SHED PATIO ROOF			
	CLIENT ADDRESS	GERALDTON					ISSUED FOR CLIENT APPROVAL	DRAWING		DETAILS		
							FOOTING AND WALL PLATE CHANGES	DWG No		20BCE2369-04	SCALE	NTS

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CONCRETE NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 CONCRETE STRUCTURES STANDARD CURRENT EDITION WITH AMENDMENTS.
2. THE SOIL AT BASE OF FOOTING EXCAVATION SHALL REMAIN UNDISTURBED OR BE COMPACTED TO 95% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS1289 IN THE TOP 300MM OF FOUNDATION SOIL.
3. ESTIMATED QUANTITY OF CONCRETE:
 - 3 X F1 FOOTINGS 650X650X650MM 0.275M³ (TOTAL 0.824M³)
 - 7 X F2 FOOTINGS 950X950X950MM 0.857M³ (TOTAL 6M³)
4. FOOTING ON GROUND TO BE UNDERLAID WITH "I.C.I. FORTECON" (OR SIMILAR APPROVED) SHEET MEMBRANE, TAPED AT ALL JOINTS AND TURNED UP AGAINST WALLS FOR FULL DEPTH OF FOOTING.
5. GROUND SURROUNDING FOOTING SHALL SHAPED TO DIRECT MOISTURE AWAY FROM FOOTING.
6. ALL CONCRETE SHALL BE GRADE N25/80/20. CONCRETE TO BE THOROUGHLY COMPACTED WITH IMMERSION TYPE VIBRATORS.
7. CONCRETE SHALL BE BROOM FINISHED AND LEVEL TO THE HORIZON WITHIN 3MM.
8. STEEL REINFORCEMENT BAR DEFORMED TO AS/NZS 4671:2001 WITH CLASS DESIGNATION D500N AND MINIMUM CHARACTERISTIC YIELD STRENGTH OF 500MPA. ENSURE MINIMUM 50MM COVER STEEL REINFORCEMENT IS MAINTAINED. ALL REINFORCEMENT BARS SHALL BE SECURELY WIRED TO PREVENT SHIFTING WHEN CONCRETE IS PLACED.

STEELWORK NOTES:

1. ALL STEELWORK SHALL BE INSTALLED IN ACCORDANCE WITH AS4100:2020 STEEL STRUCTURES.
2. ALL RECTANGULAR HOLLOW SECTIONS (RHS) AND SQUARE HOLLOW SECTIONS (SHS) SHALL BE FABRICATED FROM COLD FORMED GRADE C350L0 STEEL SECTIONS. ALL STEEL PLATE SHALL BE FABRICATED FROM GRADE 250MPA HOT ROLLED STEEL PLATE.
3. ALL WELDS AND WELDING PROCEDURES SHALL COMPLY WITH AS / NZS 1554.1. UNLESS OTHERWISE NOTED ALL WELDS SHALL BE FILLET WELDS AND SHALL BE AS FOLLOWS:

- (A) 6MM CONTINUOUS FOR 12PL AND LESS.
 - (B) 8MM CONTINUOUS FOR OVER 12PL TO LESS THAN 20PL.
 - (C) 10MM CONTINUOUS FOR 20PL AND OVER.
- (WELDS TO APPLY TO THE THINNEST PLATE IN THE CONNECTION).

- WELDS SHALL BE CONTINUOUS, FULL SEAL WELDS.
- BUTT WELDS SHALL BE COMPLETE PENETRATION WELDS U.N.O.
- WHERE A JOINT IS REQUIRED, ALL EDGES OF STEEL FACES IN CONTACT SHALL BE WELDED.

4. BCE RECOMMENDS ALL STEELWORK BE GALVANISED OR RECEIVE A PAINTED SURFACE TREATMENT. ALL GALVANIZING SHALL BE IN ACCORDANCE WITH AS/NZS 4680. A ROBUST PAINTED SURFACE TREATMENT FOR STEELWORK IS AS FOLLOWS:
 - SURFACE PREPARATION: OIL AND GREASE SHALL BE REMOVED BY SOLVENT CLEANING IN ACCORDANCE WITH AS 1627 PART 1, DRY ABRASIVEBLAST CLEAN IN ACCORDANCE WITH AS1627 PART 4 TO ACHIEVE A CLASS 2½ FINISH, WITH MAXIMUM SURFACE PROFILE HEIGHT OF 75 MICRON. THE PRIME COAT SHALL BE APPLIED PRIOR TO THE APPEARANCE OF FLASH RUSTING AND NO LATER THAN 4 HOURS FROM COMPLETION OF THE SURFACE PREPARATION.
 - FIRST COAT INTERZINC 52 TO DFT OF 100 MICRONS.
 - SECOND COAT INTERMEDIATE HIGH BUILD 2 PACK EPOXY INTERZONE 954 TO DFT OF 500 MICRONS. TO ENSURE 500 MICRON COVERAGE ON CORNERS AND EDGES, THE INTERZONE 954 SHOULD BE APPLIED IN TWO COATS.
5. ALL BOLTS SHALL BE GALVANISED GRADE 8.8X/S INSTALLED TO SNUG TIGHT IN ACCORDANCE WITH AS4100:2020.
6. THE COLORBOND TRIMDEK PROFILE 0.42BMT ROOF SHEETING SHALL BE CREST FIXED WITH 4 FASTENERS PER SHEET. FASTENERS TO FIX THE SHEETING TO THE PURLINS SHALL BE COLOURBOND ROOF ZIPS CLASS 4 #12-14x45mm HEX HEAD HIGH GRIP SELF-DRILLING TAPPING SCREWS. PLEASE NOTE THE FOLLOWING:
 - ALL TEK SCREWS SHALL BE FITTED WITH SEALING WASHERS. WASHERS SHALL BE E.P.D.M (ETHYLENE PROPYLENE DIENE MONOMER (M-CLASS) RUBBER) WHICH IS A RESILIENT NON-CONDUCTIVE WASHER DESIGNED TO PROVIDE EFFECTIVE WEATHER SEALING AT EXTERIOR FIXING POINTS.
 - NO PRE-BORED HOLES PERMITTED.
 - INCREASE SCREW LENGTH IF FIXING OVER INSULATION TO MAINTAIN 3 SCREW THREADS PROTRUDING FAR SIDE OF SUPPORT.

GENERAL NOTES:

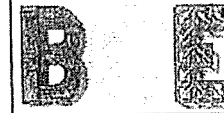
1. ALL DIMENSIONS SHALL BE CONFIRMED BY CONTRACTOR ONSITE.
2. DESIGN IN ACCORDANCE WITH THE FOLLOWING AS/NZS1170.2:2011 REQUIREMENTS:
 - a. WIND REGION B - GERALDTON. THE TERRAIN CATEGORY AT THE SITE HAS BEEN TAKEN AS 2.5. IMPORTANCE LEVEL 2. ULTIMATE WIND SPEED 57m/s (205km/h).
 - b. THE ANNUAL PROBABILITY OF EXCEEDANCE OF THE WIND EVENT HAS BEEN CALCULATED AS 1:500.
 - c. THE DESIGN LIFE OF THE STRUCTURE HAS BEEN TAKEN AS 50 YEARS.

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.....Date: 4/2/2021

LESTER SMITH NPER 1099807
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CIVIL / STRUCTURAL ENGINEER

 BLACKTOP CONSULTING ENGINEERS ABN: 84 683 812 614 PO Box 918 Geraldton WA 6531 PHONE : (08) 9964 5459	CLIENT SHEDS N MORE	DRAWN SO	CHECKED LS	DATE 20/1/2021	AMENDMENT DETAILS ISSUED FOR CLIENT APPROVAL	PROJECT 37 REDCLIFFE CONCOURSE SHED PATIO ROOF
	CLIENT ADDRESS GERALDTON	AMENDMENT A SO LS 20/1/2021 ISSUED FOR CLIENT APPROVAL	B SO LS 4/02/2021 FOOTING AND WALL PLATE CHANGES			DRAWING NOTES
SHEET 6 OF 6	COPYRIGHT NOTICE: THIS DOCUMENT IS THE PROPERTY OF BLACKTOP CONSULTING ENGINEERS. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORIZED USE OF THE DOCUMENT IS PROHIBITED.		DWG No 20BCE2369-06	SCALE NTS	SIZE A3	REV 1

1.0 CITATION

This is a Local Planning Policy prepared under Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015*. This policy may be cited as Local Planning Policy 1.4 – Outbuildings.

2.0 INTRODUCTION

The local government may prepare a local planning policy in respect of any matter related to the planning and development of the Scheme area.

In making a determination under this Scheme the local government must have regard to each relevant local planning policy to the extent that the policy is consistent with this Scheme.

State Planning Policy 7.3 – Residential Design Codes (the ‘R-Codes’) acknowledges that a local planning policy may be prepared to provide local objectives for housing design and development to guide the consideration of proposals. The R-Codes also acknowledge that a local planning policy may be prepared to address a specific local need to guide the consideration of a proposal that does not satisfy the deemed-to-comply provisions of the R-Codes.

This policy provides local objectives and varies relevant deemed-to-comply provisions of the R-Codes to assist in their implementation. It should be read in conjunction with the R-Codes.

3.0 OBJECTIVES

- 3.1 To alter the deemed to comply provisions of the R-Codes for Outbuildings.
- 3.2 To provide a clear definition of what constitutes an ‘Outbuilding’.
- 3.3 To ensure that Outbuildings are not used for habitation, commercial or industrial purposes by controlling building size and location.
- 3.4 To limit the visual impact of Outbuildings.
- 3.5 To encourage the use of outbuilding materials and colours that complement the landscape and amenity of the surrounding area.
- 3.6 To ensure that the Outbuilding remains an ancillary use to the main dwelling or the principle land use on the property.

4.0 APPLICATIONS SUBJECT OF THIS POLICY

This policy applies to all Outbuildings.

5.0 APPLICATION REQUIREMENTS

Applications for development are expected to demonstrate due regard for the accompanying information requirements as outlined in the *Planning and Development (Local Planning Schemes) Regulations 2015* and the R-Codes and the relevant design principles as outlined in the R-Codes.

6.0 POLICY STATEMENT

- 6.1 Pre-fabricated garden sheds, “cubby houses”, kennels and other animal enclosures (such as aviaries, stables) less than 9m² in total aggregate area and less than 2.5m in height (measured from natural ground level) are exempt from this policy provided they are located to the rear of the residence, satisfy the site and development requirements set out in the

Scheme, and are of a design and colour considered in keeping with the amenity of the area by the Local Government.

6.2 In consideration of an application the following maximum standards apply to outbuildings:

Zone	Standard	Maximum
Residential (R10 and higher density)	Area (total aggregate) Wall Height Overall Height (single story)	120m ² 3m* 4.5m*
Townsite	Area (total aggregate) Wall Height Overall Height (single story)	120m ² 3m* 4.5m*
Residential (R5 and lower density)	Area (total aggregate) Wall Height Overall Height (single story)	180m ² 4m* 5m*
Rural Residential Rural Smallholding Rural (lots less than 4ha)	Area (total aggregate) Wall Height Overall Height (single story) Overall Height (double story barn)	240m ² (In addition up to a maximum of 120m ² unenclosed area may be considered subject to prior consultation being undertaken as per Section 7.3 of this policy) 4.5m* 5.5m* 6.5m*
Rural Residential Rural Smallholding Rural (lots greater than 4ha)	Exempt from the area and height requirements of this policy	

* heights are to be measured from natural ground level.

6.3 Outbuildings are predominantly intended for general storage of personal domestic items, and purposes associated with the principle agricultural use (within 'Rural' and 'Rural Smallholding' zones). Outbuildings shall not be used for any commercial or industrial use without prior Local Government approval.

6.4 The large scale storage of accumulated personal items and any items in connection with a commercial or industrial operation (e.g. cray pots, building materials, earthmoving equipment etc.) is considered contrary to the objectives of this policy and is therefore not considered sufficient justification for an increase in the maximum standards prescribed.

6.5 An Outbuilding is required to be sited behind the 'front building line' of a dwelling on lots less than 4ha in area in all zones, unless sufficient justification has been provided by the applicant and the building is consistent in design and materials with the existing dwelling.

Note: For the purpose of this statement the 'front building line' shall be measured from the closest point of the house to the front boundary drawn parallel to the boundary as illustrated in Figures 1 and 2.

Figure 1

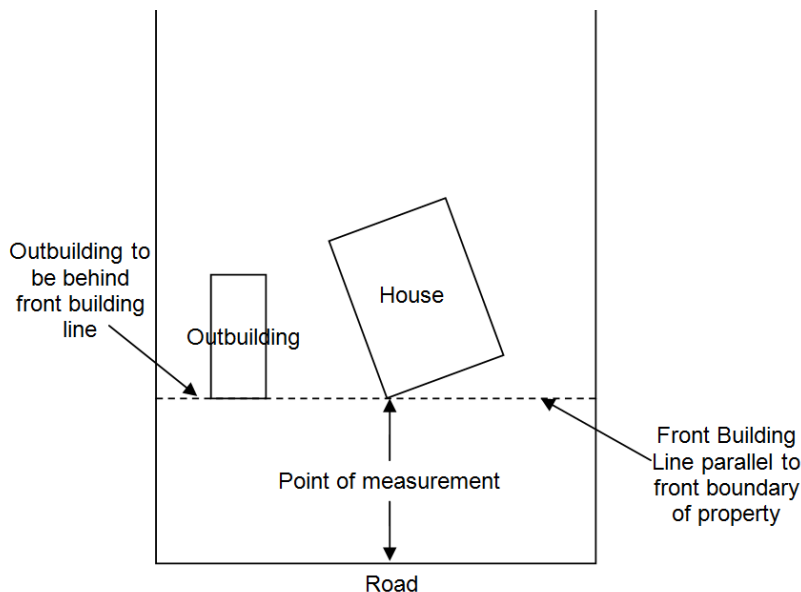
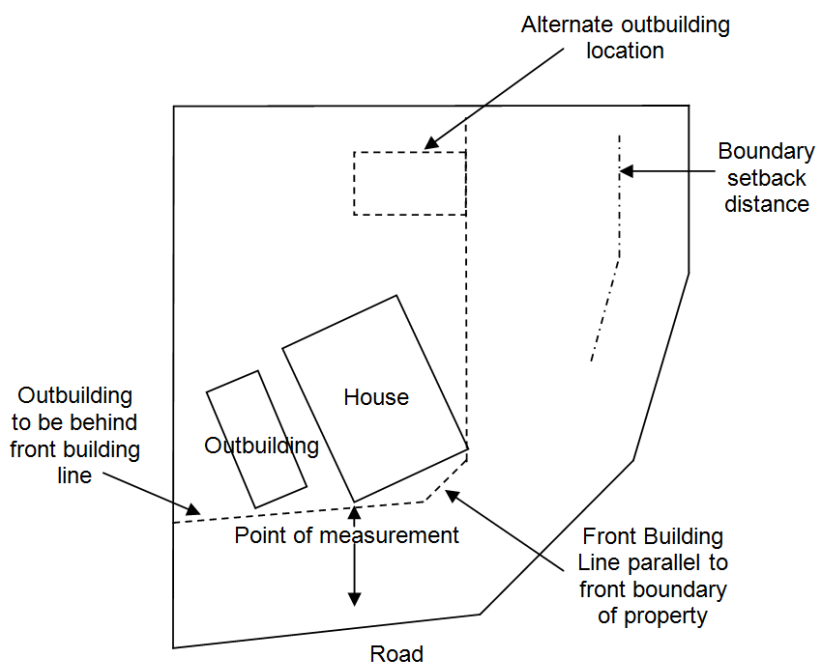


Figure 2



6.6 The development of an Outbuilding on vacant residential land shall not be approved unless the residence has been completed up to, and including, the pouring of a concrete house slab (although variation to this is permitted where the slabs for the residence and outbuilding are poured concurrently).

6.7 Setbacks for outbuildings

6.7.a For lots zoned 'Townsite' or 'Residential' lots zoned R5 and higher density the side/rear boundary can be reduced to nil (subject to compliance with the Building Code of Australia) provided written neighbour support is provided. No planning application is required to be lodged in such instances provided the Outbuilding meets with all other Scheme and policy requirements.

- 6.7.b For 'Residential' lots zoned R2.5 and lower density the outbuilding is to be setback in accordance with the Residential Design Codes, or if applicable located within a defined building envelope (Variation to a 5m side and/or rear boundary setback for Outbuildings may be considered subject to prior consultation being undertaken as per Section 7.4 of this policy).
- 6.7.c For lots zoned 'Rural-Residential', 'Rural Smallholding' and 'Rural' the Outbuildings are to be setback in accordance with the Local Planning Scheme, or if applicable located within a defined building envelope.
- 6.8 Materials
- 6.8.a The use of uncoated metal sheeting (i.e. zincalume or corrugated iron) is only supported upon land zoned 'Rural Smallholdings' or 'Rural'.
- 6.8.b The use of uncoated metal sheeting may be considered in the 'Townsite' zone or where existing buildings have been constructed with the use of uncoated metal sheeting or similar upon a property or another property located in close proximity.
- 6.9 Should Ancillary Accommodation be constructed within a Class 10 Outbuilding (i.e. a box or rectangular shaped structure constructed of coated or uncoated metal sheeting which does not include additional features such as eaves, verandahs, windows and other 'house' like features) the Ancillary Accommodation will be considered to be included within the total outbuilding area of a property. However, should the Ancillary Accommodation structure be purposely constructed as a Class 1A building and incorporate design features such as eaves, verandahs, windows and other 'house' like features the building would not be considered within the aggregate outbuilding area permitted upon a property.

7.0 CONSULTATION

- 7.1 Should the application be considered to meet the requirements of this policy the application may be dealt with under delegated authority by Shire staff. However should the application not be considered to meet the requirements of the policy or in the opinion of Shire staff require further consideration, the matter may be advertised in accordance with the Local Planning Scheme before being placed before a meeting of Council for determination.
- 7.2 Applications that propose variation to any part of the Policy (other than the variation pursuant to Section 7.3 and 7.4 of this policy) will require consultation with surrounding landowners, by means of the Shire writing directly to the surrounding landowners inviting comment, and placement of an advisory sign on-site for a period of not less than 21 days, prior to the application and any received submissions being placed before a meeting of Council for consideration.
- 7.3 Applications within the 'Rural Residential', 'Rural Smallholding' and 'Rural' zone (where the lots are less than 4ha) that propose a total outbuilding area comprising not more than 240m² enclosed aggregate area and an additional 120m² unenclosed aggregate area will require consultation with surrounding landowners, by means of the Shire writing directly to the surrounding landowners inviting comment, and placement of an advisory sign on-site for a period of not less than 21 days. In the event that at the conclusion of the consultation period no written, author-identified objections have been received then the application may be determined by Shire staff under delegated authority. In the event that a written, author-identified objection is received then the application and the received submission(s) will be placed before a meeting of Council for consideration.
- 7.4 Applications for 'Residential' lots zoned R2.5 and lower density that propose a side and/or rear boundary setback of less than the R-Code requirement, but not less than 5m, will

require consultation with surrounding landowners, by means of the Shire writing directly to the surrounding landowners inviting comment, and placement of an advisory sign on-site for a period of not less than 21 days. In the event that at the conclusion of the consultation period no written, author-identified objections have been received then the application may be determined by Shire staff under delegated authority. In the event that a written, author-identified objection is received then the application and the received submission(s) will be placed before a meeting of Council for consideration.

- 7.5 The advertising of a received application that proposes variation to any part of the policy is undertaken to make the proposal available for inspection in order to provide opportunity for public comment and it should not be construed that final approval will be granted.

The local government in determining the application will take into account the submissions received but is not obliged to support those views.

8.0 DEFINITION

For the purpose of this policy an Outbuilding means a building structure not under the main roof of a dwelling and is measured by the total floor area (whether enclosed or open).

Responsible Business Unit	Planning
LPP Category	1 – Residential
Public Consultation	As required
Adoption Date	20/5/20
Next Review Date	-
Reference Number (Internal purposes)	SoCVLPP1.4